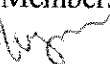


M E M O R A N D U M

To: Community Development Task Force Members
From: Wynn Hjermstad, Urban Development 
Date: May 27, 2004
Subject: FY 2004 Action Plan

At your June 3, 2004 meeting, public hearing will be held on the FY 2004 Action Plan: One-Year Use of Funds for HUD Entitlement Programs. To save on printing costs, we are not including the draft plan; please bring your copy from the last meeting. However, if you need another copy, please call Diana at 441-7606 and she will get you one.

Attached are changes that have been made to the Action Plan since your last review in April. Changes include:

Page I-4 - Introduction

- After review by the Planning Commission, the date of that action was included.
- Table 1 - Economic Development, the Total Resources was corrected.
- Table 1 - the TOTAL under Total Resources was corrected.

Page V-1 - Economic Development

- Task Force members requested that the word "to" be changed to "by" in strategy 2.
 - Old - "Support creation of business to low-income entrepreneurs."
 - New - "Support creation of business by low-income entrepreneurs."

Page VI-5 - Neighborhood Revitalization

- Task Force members requested the addition of a new strategy to protect public park improvements to promote and protect neighborhoods. Strategy 13 states,

"Urban Development staff will work with neighborhood organizations and other City departments, particularly Parks and Recreation, to review proposed development and improvement of public park areas to ensure that such facilities are developed and improved in manners that promote and protect neighborhood character."

The Planning Commission approved the Plan on May 14, 2004 and it is scheduled for City Council public hearing on June 7th. Action requested by the Task Force is approval of the 2004 Action Plan with the proposed changes listed above. Please call me at 441-8211 or e-mail at whjermstad@ci.lincoln.ne.us if you have any questions. Thanks.

organizations informing them of the availability of the plan. In addition to the plan being posted on the Urban Development Department Web page, the public hearings were broadcast on City TV channel 5 and via live video feed on the City's Citizen Information Center Web site. The broadcasts could also be viewed, for a period of time, using the Web site's video-on-demand.

Broadcasting of two CD Task Force panel discussions are held each year on Channel 5, the City's government access cable channel which is replayed for several weeks afterward and can be viewed at any time on the Web site. This raises the visibility of the Task Force's activities and role in the community development process, and will hopefully increase public interest and participation in the process. The two panel discussions which will be televised will occur at the time of and for several weeks following the public hearings on the *Action Plan* and the *CAPER* during which time public comment will be invited.

The *FY 2004 Action Plan: One Year Use of Funds* was also reviewed by the Lincoln/Lancaster Planning Commission and determined to be in compliance with the *Lincoln-Lancaster County Comprehensive Plan* (May 12, 2004). It was approved by the City Council, by resolution, at a televised public hearing on June 16, 2003.

Proposed Uses of Funds and Dollars Leveraged

The table below summarizes the planned uses of the City's FY 2004 Federal entitlement grants (CDBG, HOME, ESG, and ADDI), estimated program income, and estimated prior year carryover. This table also includes estimated dollars that will be leveraged by these three programs. However, the table does not include other public and private funds that are not directly leveraged by CDBG, HOME, ESG, ADDI funds, but that further the City's community development strategy. Many of the funds discussed in the following section are also identified in the Strategies sections of the plan.

Table 1: Program Area Budgets and Leveraged Resources

PROGRAMMATIC AREA	FY 2004 Budget	% of Total	Leveraged Resources	Total Resources
Housing	\$4,888,609	71%	\$7,585,000	\$12,473,609
Continuum of Care	\$104,706	1%	To Be Determined	\$104,706
Economic Development	\$1,011,830	15%	\$2,817,829	\$3,829,659
Neighborhood Revitalization	\$379,854	6%	\$39,966,600	\$40,346,454
Administration	\$516,074	7%	\$20,000	\$536,074
TOTAL	\$6,901,073	100%	\$50,389,429	\$57,290,502

The budgets on the following pages indicate program/project allocations for CDBG, HOME, ESG, and ADDI funds. These programs and projects are more fully described in the Strategies sections and in the Listing of Proposed Projects in Appendix B.

ECONOMIC DEVELOPMENT

Economic Development Goal 1	Job Creation and Business Development: Increase the number of new, private sector, quality, full-time, permanent jobs, available to or taken by low- and moderate-income persons by supporting endeavors aimed at sustaining or increasing business activity. Strengthen and maintain the viability of the City's neighborhoods through the development of new, and improvement of, existing retail and service businesses.
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Strategy 1 **Provide direct financial assistance to new or existing business enterprises to create or retain jobs, emphasizing businesses creating positions which pay a living wage.**

Activity/program	Description	Goals	Budget	Sources
Job Creation/Retention Loan Program	Loan and loan guarantees for businesses which provide job creation opportunities. Maximum of \$20,000 per FTE job created and no more than ½ of overall project costs. 51% of jobs created must go to low-to-moderate income persons. Rates and terms may vary.	20 (FTE) jobs 11 in NRSA	\$213,880 \$228,000 \$600,000	FY 2004 CDBG CDBG prior yr Private
ED Program Administration	Administration and staff for all CDBG funded Economic Development (ED) programs (.7 FTEs)	See description	\$59,786	FY 2004 CDBG

Strategy 2 **Support creation of business by low-income entrepreneurs.**

Activity/program	Description	Goals	Budget	Sources
Community Development Resources of Lincoln	Operational support for small business development loan program through certified Community Development Financial Institution (CDFI). Loans range from \$1,000-\$100,000. Fund capitalized by local lenders and CDBG. Additional operating support provided by Microenterprise Partnership Fund. Rates and terms may vary.	44 loans 67 Jobs Created/Retained 28 NxLevel Trainees 180 Technical Assistance	\$40,000 \$5,000 \$30,000 \$107,000	FY 2004 CDBG CDBG prior yr Microenterprise Partnership Fund Private

Strategy 3 **Develop an ongoing marketing strategy for promoting the City's Economic Development loan programs.**

In FY 2004, the Urban Development Department will continue to develop new promotional materials and revise application and review processes for the City's CDBG-funded economic development loan programs.

Strategy 4 **Increase the City's economic development capacity by supporting a unified organizational structure to represent Lincoln's economic development concerns.**

- Strategy 5** **Support the development of an ordinance or code prohibiting upholstered furniture on porches or anywhere outdoors that is visible from the public right-of-way.**
- Strategy 6** **Explore the implementation of property tax abatement and tax credit policy for improved properties in the NRSA to encourage privately financed rehabilitation of housing and deconversion of single-family dwellings converted to multiples.**
- Strategy 7** **Explore the implementation of a Housing Rehabilitation Code with standards that would reduce the cost of rehabilitation and deconversion.**
- Strategy 8** **Amend zoning to provide for an equitable distribution of congregate living facilities throughout the city.**

Urban Development Department staff will work with NRSA neighborhoods, and other City departments, particularly the Planning Department, to review the zoning code and revise, if necessary, congregate living facility zoning policies to ensure that such facilities are distributed on an equitable basis throughout the city.

- Strategy 9** **Support revisions to commercial zoning districts in older neighborhoods (typically B1 and B3) that promote and protect neighborhood character. Areas to examine should include screening, lighting, signage, set backs, noise, and permitted uses.**
- Strategy 10** **Establish and enforce exterior maintenance standards for non-residential structures and explore the implementation of screening requirements for commercial and industrial uses adjacent to residential areas within the city.**
- Strategy 11** **Establish a mechanism to coordinate the City's Capital Improvements Program with neighborhood revitalization activities. Includes continued work with other City departments, primarily Public Works and Utilities, to improve infrastructure in older neighborhoods and ensure that the City's core receives its "fair share" of infrastructure dollars.**
- Strategy 12** **Develop a master agreement with Neighborhoods, Inc. for neighborhood revitalization activities including Antelope Valley projects, Homebuyer Training, the Troubled Property Program, Community Housing Development Organization (CHDO) projects and Community Based Development Organization (CBDO) projects. This agreement is intended to formalize the working relationship between the City and Neighborhoods, Inc. for neighborhood revitalization efforts.**
- Strategy 13** **Urban Development staff will work with neighborhood organizations and other City departments, particularly City Parks and Recreation, to review proposed development and improvement of public park areas to ensure that such facilities are developed and improved in manners that promote and protect neighborhood character.**